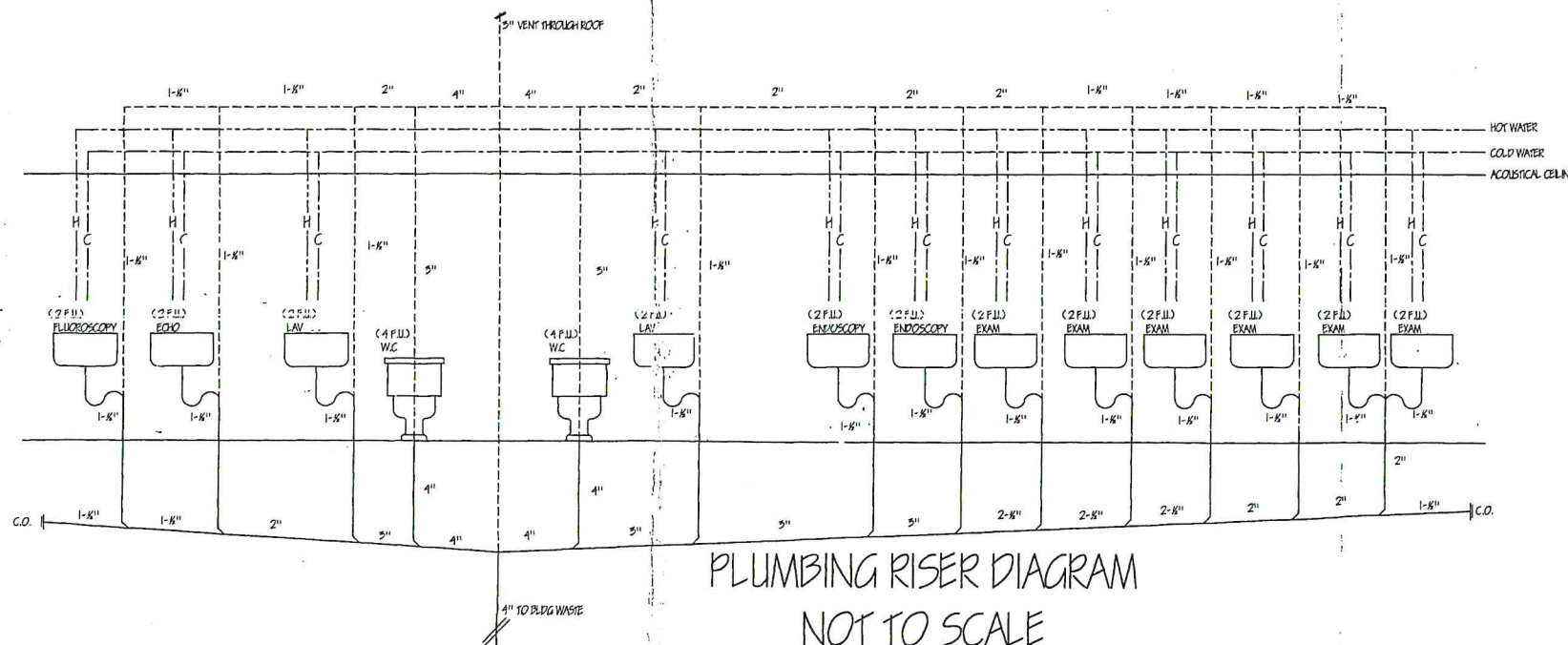


LEGEND

- EXISTING GYP. BD. PARTITION TO REMAIN.
- EXISTING PARTITION SHALL BE REMOVED; FULL HEIGHT PARTITIONS SHALL BE REMOVED FROM SLAB TO DECK ABOVE UNLESS NOTED; DEMOLITION OF FULL HEIGHT WALLS SHALL BE PERFORMED AS NOT TO DAMAGE EXISTING CEILING GRID.
- NEW INTERIOR PARTITION (2-1/2" METAL STUD 24" O.C.) ONE LAYER 5/8" GYP EACH SIDE FROM SLAB TO BOTTOM OF ACOUSTICAL CEILING.
- FULL HEIGHT PARTITION (ONE HOUR RATED) 2-1/2" METAL STUD 24" O.C. ONE LAYER 5/8" TYPE-"X" GYP. BD. FROM SLAB TO BOTTOM OF DECK ABOVE. 2" BATT INSULATION UPGRADE PARTITION AS REQUIRED (UL DES. U448).
- FULL HEIGHT PARTITION (TWO HOUR RATED) 2-1/2" METAL STUD 24" O.C. TWO LAYER 5/8" TYPE-"X" GYP. BD. FROM SLAB TO BOTTOM OF DECK ABOVE. 2" BATT INSULATION UPGRADE PARTITION AS REQUIRED (UL DES. U441).
- FULL HEIGHT PARTITION (TWO HOUR RATED) 2-1/2" METAL STUD 24" O.C. TWO LAYER 5/8" TYPE-"X" GYP. BD. FROM SLAB TO BOTTOM OF DECK ABOVE. 2" BATT INSULATION UPGRADE PARTITION AS REQUIRED (UL DES. U441).
- EXIT SIGN; LIT FACE SHOWN; ARROW AS INDICATED; BUILDING STANDARD.
- EMERGENCY LIGHT; BUILDING STANDARD.

GENERAL NOTES

- 1.) ALL WORK SHALL CONFORM TO NEW YORK STATE BUILDING AND FIRE PROTECTION CODE AND ALL APPLICABLE LOCAL CODES AND REGULATIONS.
- 2.) ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. (ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF DMNITECH.) TENANT SHALL APPROVE PARTITION LAYOUT BEFORE INSTALLATION OF METAL TRACK.
- 3.) DO NOT SCALE DRAWINGS; DIMENSIONS RULE.
- 4.) ALL DIMENSIONS ARE FROM FACE OF PARTITION TO FACE OF PARTITION UNLESS NOTED.
- 5.) ALL DOOR OPENINGS SHALL BE 6" FROM ADJACENT PARTITION UNLESS NOTED ON PLAN.
- 6.) ALL INTERIOR DOORS SHALL BE AS SHOWN ON PLAN.
- 7.) H.V.A.C. CONTRACTOR SHALL PROVIDE FIRE DAMPERS AT ALL DUCT LINES PENETRATING TENANT DEMISE WALLS AND CORRIDOR WALLS.
- 8.) H.V.A.C. CONTRACTOR SHALL PROVIDE FIRE DAMPERS AT DEMISE WALLS AND CORRIDOR WALLS FOR RETURN AIR PLENUM.
- 9.) H.V.A.C. CONTRACTOR SHALL LOCATE THERMOSTATS.
- 10.) ALL ELECTRICAL RECEPTACLES AND SWITCHES SHALL BE SELECTED BY TENANT. DECORA FINISH COVER PLATE; INSTALL AT THE STANDARD HEIGHT ABOVE FINISHED FLOOR UNLESS NOTED. ALL HEIGHTS TO BOTTOM OF DEVICE. TENANT SHALL SELECT SWITCH, RECEPTACLE AND PLATES TYPE AND FINISH.
- 11.) ALL TELEPHONE AND COMPUTER WIRING, RECEPTACLES AND EQUIPMENT SHALL BE INSTALLED BY TENANT'S VENDOR; ALL WIRING MUST BE TEFLON COVERED.
- 12.) PAINT ALL WALLS FLAT LATEX.
- 13.) THE PREMISES SHALL BE CLEANED DAILY AND ALL DEBRIS REMOVED BEFORE THE END OF THE DAY.
- 14.) PROPER PROTECTION OF ALL CORRIDORS, ELEVATORS AND LOBBIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 15.) ANY ITEM NOT STATED ABOVE SHALL BE REQUESTED BY TENANT AND A CHANGE ORDER SIGNED AND APPROVED BY TENANT BEFORE COMMENCEMENT OF EXTRA WORK.
- 16.) ALL FURNITURE OR EQUIPMENT BY TENANT. TENANT SHALL ADVISE LANDLORD, CONTRACTOR & DMNITECH OF TYPES, SIZES & EQUIPMENT TO BE INSTALLED (ESPECIALLY WORKSTATION CONFIGURATION AND TYPE)



PLUMBING RISER DIAGRAM
NOT TO SCALE

2005-1161C	TOTAL HEALTHY SOLUTIONS INC 415 NORTHERN BOULEVARD GREAT NECK, NY 11021 2ND FLOOR	NORTHERN BOUEVARD REALTY CORPORATION 239 GREAT NECK ROAD GREAT NECK, NEW YORK 11021	BASEMENT PLAN GENERAL NOTES STRUCTURAL DETAILS	date: 06 MAR 08	submissions	revisions	 MICHAEL ANGELONE, D.E., LLC SITE 406 60 CUTLERHILL ROAD GREAT NECK, NEW YORK 11021 T-516 482-4300 F-516 466-2859	1 OF 1
				scale: AS NOTED	19 MAR 08	25 FEB 07		A-1
				drawn: MM	02 MAR 07	09 MAR 07		2005-1161C
				checked: FJV	09 APRIL 08	09 APRIL 08		

THE INTENT OF THIS SET OF CONSTRUCTION DOCUMENTS IS TO PROVIDE A COMPLETE AND PROPERLY FUNCTIONING SPACE TO BE UTILIZED FOR ITS DESIGNED PURPOSE. THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, SUB-CONTRACTORS, SUPPLIERS, AND VENDORS SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO ACHIEVE A FINISHED PRODUCT CAPABLE OF RECEIVING A CERTIFICATE OF OCCUPANCY. EACH CONTRACTOR IS OBLIGATED TO EXAMINE THE PLANS AND IF NECESSARY, VISIT THE SITES, SO TO BE FAMILIAR WITH THE ACTUAL CONDITIONS AND REQUIREMENTS OF THE PROJECT. ANY ALLEGED DISCREPANCIES, AMBIGUITIES OR UNKNOWNS SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF COMBINED RESOURCES CONSULTING & DESIGN, INC. SO THAT THE MATTER MAY BE RESOLVED PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR, BY SUBMISSION OF THEIR BID, SHALL ACKNOWLEDGE THAT THESE DOCUMENTS ARE AN ACCURATE DEFINITION OF THE SCOPE OF WORK. ADDITIONAL COST CLAIMS BASED ON ANY DEFICIENCY OF CONSTRUCTION DOCUMENTS, ACTUAL OR NOT, WILL NOT BE CONSIDERED.

No	REVISION	Date
1	filling/review	05/04/07

- Drawing List
- T1 TITLE SHEET
 - T2 GENERAL NOTES, WORKLETTER
 - A1 EGRESS PLAN, NOTES, ADA CODE LEGEND & SECTION
 - A2 DEMOLITION PLAN, NOTES, LEGEND & SECTION
 - A3 CONSTRUCTION PLAN, NOTES, COLUMN DETAIL
 - A4 WALL SECTIONS
 - A4a WALL ELEVATIONS & DETAILS
 - A5 DOOR & PLUMBING LOCATION PLAN, DOOR LEGEND, SCHEDULE, NOTES
 - A6 SANITARY RISER DIAGRAM, NOTES, LEGEND
 - A7 ELECTRICAL PLAN NOTES, LEGEND & SECTION
 - A8 REFLECTED CEILING PLAN, HEADER DETAIL
 - A8a RCP NOTES, LEGEND & SOFFIT DETAILS
 - A9 MILLWORK PLANS & ELEVATIONS
 - A10 MILLWORK ELEVATIONS
 - A11 RECEPTION DESK PLAN, ELEVATIONS & SECTION
 - A12 NURSE DESK PLAN, ELEVATIONS & SECTION
 - A13 MILLWORK SECTIONS
 - A14 FINISH PLAN, NOTES, LEGEND, & SCHEDULE
 - A15 CAMERA ROOM PLAN, NOTES, ELEVATIONS & SECTION
 - F1 FIRESTOPPING DETAILS & NOTES
 - F2 FIRESTOPPING DETAILS & NOTES

SEE T2 SHEET FOR PROJECT CONTACT LIST

ARCHITECT:


COMBINED RESOURCES
 CONSULTING AND DESIGN, INC.
 28 NEW YORK AVE
 SUITE #2
 WESTBURY, NY 11590
 P 516 338 4140
 F 516 338 4374

Tenant/Occupant:
THE SAGEMARK COMPANIES, LTD.

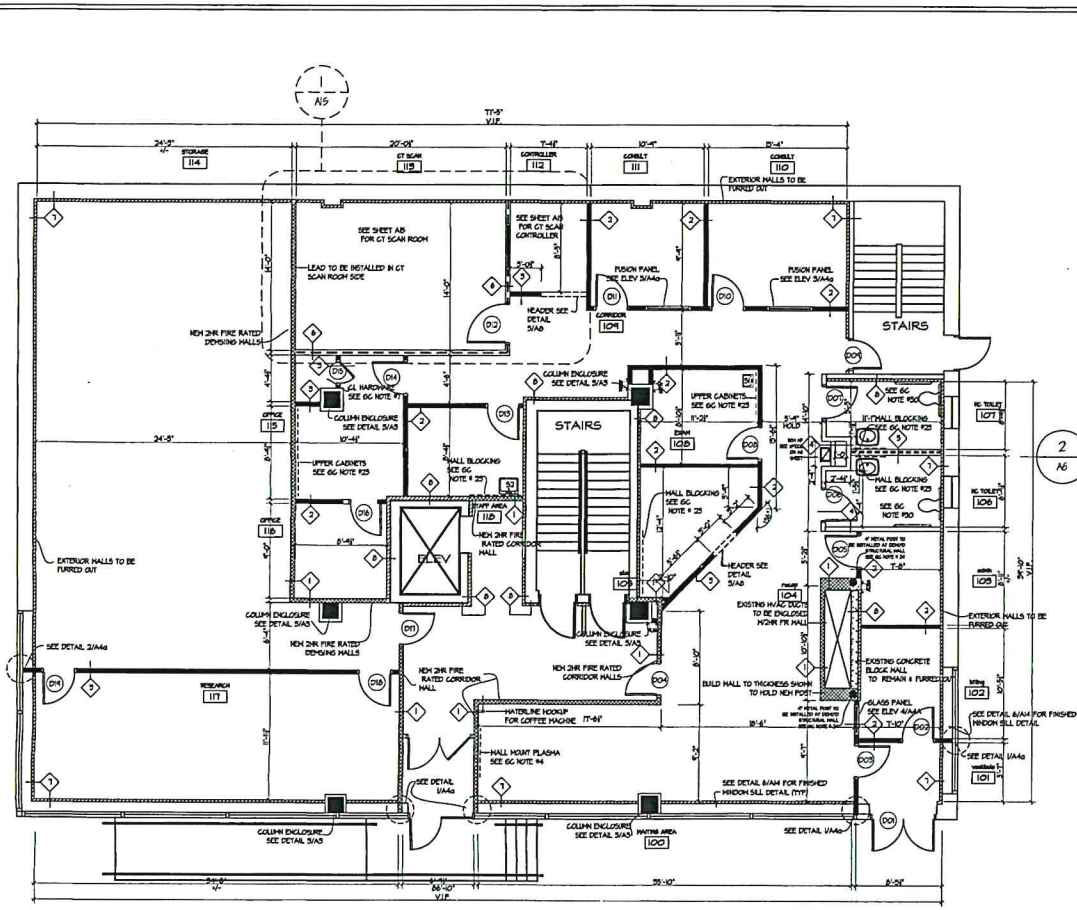
Location:
 415 NORTHERN BLVD.
 FIRST & LOER FLOORS
 GREAT NECK, NY

Drawing:
CONSTRUCTION PLAN, NOTES, LEGEND, COLUMN DETAIL

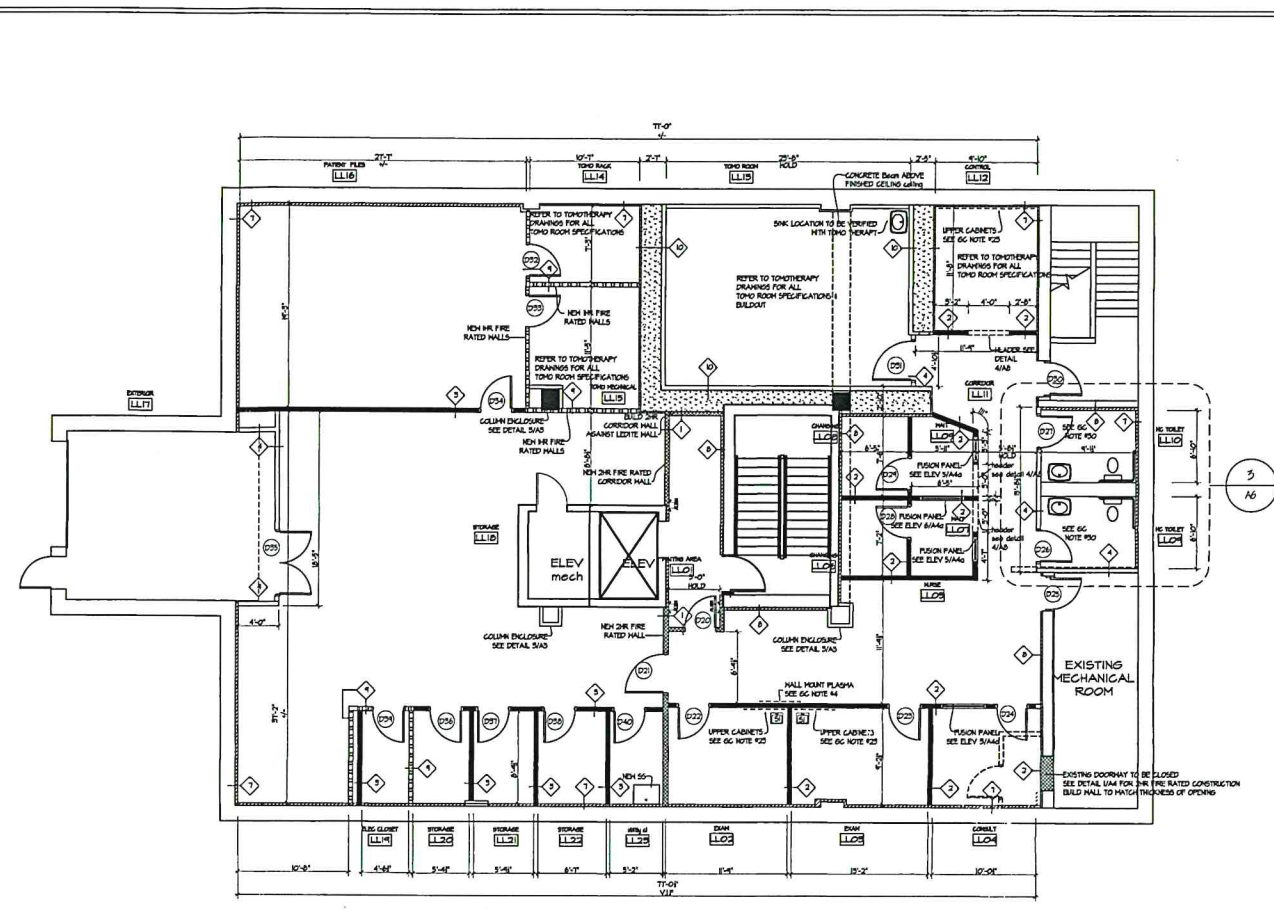
Initial Dwg Date: 05/04/07
 Job No.: 07-104.01
 Scale: AS NOTED
 Dwg No.: A-3
 Drawn By: MN
 Chk By: MN
 PG 5 OF 21

Seal & Stamp


THIS DRAWING AND ITS CONTENTS, INCLUDING BUT NOT LIMITED TO ALL PATENTABLE FEATURES, SEPARATELY OR COLLECTIVELY SHOW, CONSTITUTE THE ORIGINAL AND UNREPRODUCED PROPERTY OF COMBINED RESOURCES CONSULTING & DESIGN, INC. THIS DRAWING MAY NOT BE REPRODUCED, REPRODUCED IN WHOLE OR PART, OR EMPLOYED FOR ANY PURPOSE OTHER THAN SPECIFICALLY PERMITTED BY WRITTEN CONSENT OF C&D AND IS LOANED, SUBJECT TO RETURN, ON DEMAND.



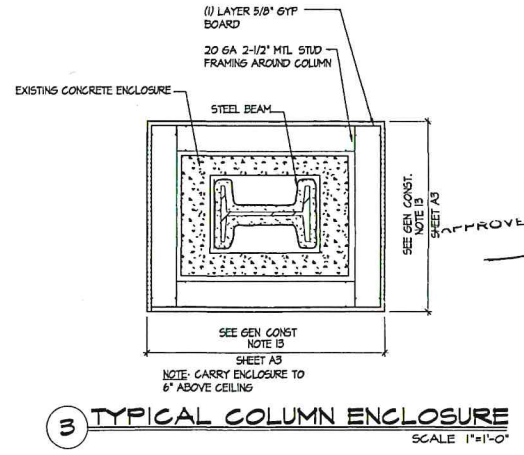
NORTH
FIRST FLOOR CONSTRUCTION PLAN
 SCALE 1/8" = 1'-0"



NORTH
LOWER LEVEL CONSTRUCTION PLAN
 SCALE 1/8" = 1'-0"

- GENERAL CONSTRUCTION NOTES**
1. ALIGN NEW PARTITION WITH EXISTING MILLION. PROVIDE SOLID CONNECTION AT MILLION. SILL AND HALL. GASKET AND SEAL JOINT BETWEEN DEMO AND EXISTING SURFACES. IF HALL FALLS CLOSER TO ANOTHER MILLION THAN THAT SHOWN ON CONSTRUCTION PLAN, THE ARCHITECT IS TO BE NOTIFIED.
 2. ALL WALLS ARE DIMENSIONED TO FINISH FACE OF WALL OR HOOKUP SILL.
 3. ALL NEW DOOR OPENINGS SHALL BE CONSTRUCTED BY THEM THE FINISHED FACE OF THE ADJACENT WALL, UNLESS OTHERWISE NOTED.
 4. NEW TENANT PROVIDED HANG MOUNT PLUGS TO BE INSTALLED. CONTRACTOR TO INSTALL FIRE TREATED HOOD BLOC IN HALL. TENANT TO PROVIDE TV SPEC. ELEC TO BE PROVIDED. CABLE PROVIDED BY TENANT.
 5. RADIATOR COVERS TO BE REMOVED, CLEANED, PAINTED (COLOR TO MATCH WALLS) AND REINSTALLED.
 6. BASE CABINETS AT LINCH ROOM SINK TO BE REMOVABLE FOR HANDICAP ACCESSIBILITY. FINISHED FLOOR TO BE EXTENDED UNDER REMOVABLE CABINET. THE SECTION OF COUNTERTOP AT THE SINK TO BE SEPARATE FROM REMOVALS OF COUNTERTOP FOR THE ABILITY TO BE LOWERED TO THE HANDICAP ACCESSIBLE HEIGHT. SEE DETAIL 5/A4.
 7. PROVIDE GARAGE CLOTHES ROD AND URETHANE BENCH HAT SHELF AT ALL COAT CLOSETS. SEE DETAIL 6/A4.
 8. AT ALL STORAGE CLOSETS INDICATED, PROVIDE (6) TIER OF 1'-0" DEEP BY 5/4" THICK PINE SHELVES WITH PAINTED FINISH ON ALUMINUM STANDARDS AND BRACKETS SPACED @ 12" IN LINE WITH HALL TRAILING PAINT SHELVES TO MATCH HALL COLOR.
 9. WHERE OUTLETS OR TELEPHONE JACKS ARE SHOWN BELOW BUILT-IN CONDITIONS ON ELECTRICAL PLAN, PROVIDE 2" DIA. FINISHED GRADIENTS.
 10. CONTRACTOR TO PROVIDE & INSTALL ONE SHEET 4"x4" PLINTHOD TO WALL INDICATED FOR TENANT'S TELEPHONE HOOKUP. PLINTHOD TO BE PAINTED TO MATCH WALL.
 11. PATCH AND REPAIR ALL CORE WALLS FOLLOWING COMPLETION OF MECHANICAL AND ELECTRICAL WORK. PROVIDE FIRE STOP AT ALL EXISTING AND NEW PENETRATIONS THROUGH RATED ENCLOSURES.
 12. ALL EXISTING DOORS AND FRAMES TO HAVE ALL SCREWS AND NAILS BONDED AND FOR DOORS THAT DO NOT HAVE BONDED SCREWS TO RECEIVE NEW PAINT.
 13. RESTORE DAMAGED FIREPROOFING AT EXISTING STRUCTURE AND DISCRETE TO REMAIN.
 14. PATCH FILL AND REPAIR ALL SURFACES DISTURBED, CUT DAMAGE IN NEED OF REPAIR OR HAVE IMPROVED BY ALTERATION OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW HARDWARE AND ARRANGEMENTS. PATCH EXISTING SURFACES TO MATCH ADJOINING SURFACES.
 15. ALL EXISTING CORE DRILLS TO BE FILLED IN WITH NON-SHRINKING CONCRETE & COVERED WITH METAL PLATES AS PER BUILDING STANDARDS.
 16. CONTRACTOR TO PROVIDE FIRE TREATED HOOD BLOC TO WALLS INDICATED FOR ALL HALL HOOKUP CABINETS, PLUMBING FIXTURES OR SHELVING.
 17. 2-HR RATED CORRIDOR HALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM BOARD EACH SIDE UP TO STRUCTURE, FILLED WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 1/A4.
 18. NEW 1-HR RATED DEMISING HALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM BOARD EACH SIDE UP TO STRUCTURE, FILLED WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 1/A4.
 19. LEAD LINED PARTITION TO BE BUILT FOR CAMERA ROOM. SEE DETAIL 6/A4.
 20. NEW HALL TO BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE UP TO 6' ABOVE CEILING. FILL WALLS WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 2/A4.
 21. NEW HALL TO BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE UP TO 6' ABOVE CEILING. SEE DETAIL 2/A4.
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 24. NEW PLUMBING WALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE UP TO 6' ABOVE CEILING. FILL WALLS WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 3/A4.
 25. EXISTING EXTERIOR MASONRY WALLS TO BE TYPED OUT WITH 1-1/2" HAT CHANNEL @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD UP TO 6' ABOVE CEILING. SEE DETAIL 4/A4.
 26. EXISTING INTERIOR MASONRY WALLS TO BE TYPED OUT WITH 1-1/2" HAT CHANNEL @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD UP TO 6' ABOVE CEILING. SEE DETAIL 4/A4.
 27. TONQ THERAPY ROOM WALLS TO BE BUILT WITH LEADITE BLOCK & SHIELDING. ALL SPECIFICATIONS PROVIDED BY ATOMIC INTERNATIONAL. REFER TO DETAIL 10/A4 FOR HALL FINISHING.

- WALL TYPES LEGEND**
- EXISTING WALLS TO BE REMOVED
 - EXISTING WALLS TO REMAIN
 - NEW 2-HR RATED CORRIDOR HALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM BOARD EACH SIDE UP TO STRUCTURE, FILLED WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 1/A4.
 - NEW 1-HR RATED DEMISING HALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM BOARD EACH SIDE UP TO STRUCTURE, FILLED WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 1/A4.
 - LEAD LINED PARTITION TO BE BUILT FOR CAMERA ROOM. SEE DETAIL 6/A4.
 - NEW HALL TO BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE UP TO 6' ABOVE CEILING. FILL WALLS WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 2/A4.
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 - NEW PLUMBING WALL TO BE CONSTRUCTED OF 2-1/2" METAL STUDS @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE UP TO 6' ABOVE CEILING. FILL WALLS WITH 2-1/2" SOUND ATTENUATION BATTIS. SEE DETAIL 3/A4.
 - EXISTING EXTERIOR MASONRY WALLS TO BE TYPED OUT WITH 1-1/2" HAT CHANNEL @ 16" O.C. UP TO STRUCTURE WITH (1) LAYER OF 5/8" GYPSUM BOARD UP TO 6' ABOVE CEILING. SEE DETAIL 4/A4.
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 - TONQ THERAPY ROOM WALLS TO BE BUILT WITH LEADITE BLOCK & SHIELDING. ALL SPECIFICATIONS PROVIDED BY ATOMIC INTERNATIONAL. REFER TO DETAIL 10/A4 FOR HALL FINISHING.



3 TYPICAL COLUMN ENCLOSURE
 SCALE 1" = 1'-0"